



A-PRO HOME INSPECTIONS
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NESCONSET, NY 11767
PREPARED BY:BLAISE INGRISANO
NYS Lic#16000035230

A-PRO BUILDING INSPECTIONS



123 Main Street
Happy Town, NY 10000



Repair/Replace Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

Crawl Space

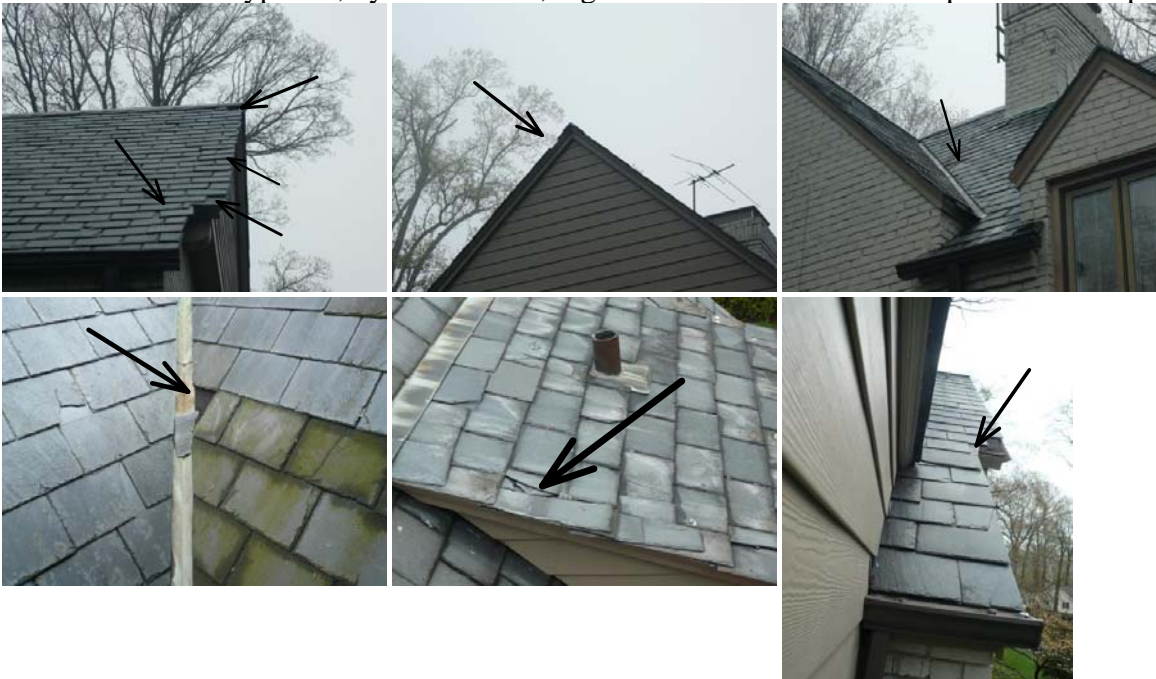
- 1. Crawl Space Insulation:** Fiberglass- Loose or damaged insulation in the floor above the crawl space should be improved.



Roof

- 2. Entire roof Roof Surface Material:** Slate, Asphalt shingle- Damaged shingles should be repaired or replaced. This can lead to interior water damage if not corrected. A qualified roofing contractor is recommended to evaluate the entire roof and estimate repairs.

Slate roofs of this type are, by their nature, high maintenance. Annual inspection and repair should be anticipated.



- 3. North Chimney Chimney:** Brick- The masonry chimney is in need of re-pointing (replacing the mortar between the bricks)



Roof (Continued)



Exterior

4. **Entire home Exterior Surface Type:** Hardie Plank, Brick veneer- The siding should be properly sealed where different materials meet. Any gaps between siding materials should be caulked and sealed. A qualified contractor is recommended to evaluate and estimate repairs



5. **Front of Home Exterior Surface Type:** Brick veneer- Damaged brickwork at the front of the home under the bay window is in need of correction, evident by brick movement, cracking, water infiltration, and windows not operating. The condition that caused this damage should be remedied and bricks repaired or replaced. Any underlying damage uncovered should also be repaired or replaced. A qualified contractor is recommended to evaluate and estimate repairs





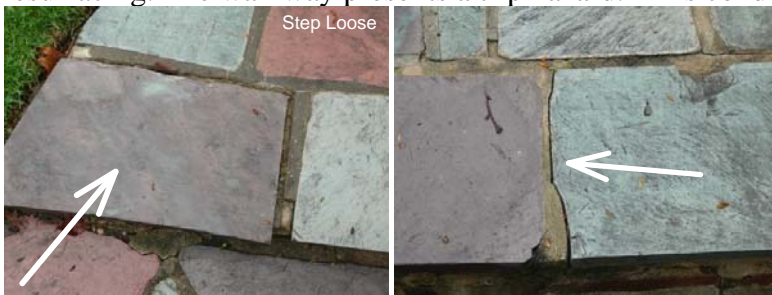
Repair/Replace Summary (Continued)

6. **Steps/Stoops:** Stone- The stair treads are loose. This is a safety concern that should be addressed promptly.



Lots and Grounds

7. **Walks:** Stone- The walkway has settled and/or cracked. Persisting movement may result in the need for resurfacing. The walkway presents a trip hazard. This condition should be altered for improved safety.



Heating System

8. **Heating System Heating System Operation:** The furnace requires typical servicing by a qualified HVAC technician. to clean, service, and check the heat exchanger.

A contact switch should be installed in the lower fan compartment. This will switch will not allow the furnace to operate without the lower cover on. This will help keep the system clean and from overheating the heat exchanger.



9. **Buried Oil Tank** It is suspected that an underground oil storage tank exists on the property. According to the Environmental Protection Agency (E.P.A.), this situation may or may not represent an environmental risk depending on factors such as tank age, condition and maintenance, none of which A-Pro is authorized to investigate or report upon. . In some cases, based on these factors, removal of underground oil tanks and surrounding soil may be necessary. Other possible alternatives, subject to state and federal guidelines, may include having the tanks filled with sand and/or foam. Oil tank repair/removal costs vary depending on the extent of work required. It is recommended that the home owner be asked if one did exist, and if so was it properly abandoned with a certificate of abandonment. If not properly abandoned a specialist should be consulted.



Repair/Replace Summary (Continued)

Air Conditioning

- 10. AC System Heat Pump:** Appears serviceable- At the time of inspection the emergency electric heat did not respond to testing. A qualified and licensed air conditioning contractor is recommended to evaluate and estimate repairs.
- As is not uncommon for homes of this age and location, the air conditioning system is relatively old. It will require a higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible. If the compressor fails, or if breakdowns become chronic, replacing the entire system may be more cost-effective than continuing to undertake repairs. Service recommended.

Plumbing

- 11. Main Water Shutoff:** Basement- Water dripping was noted at the main water valve. This condition should be corrected by a licensed plumber.
- 12. Water Heater Flue Pipe:** Metal. Cast- The flue servicing the water tank is older and may contain asbestos. In addition it does not appear to have a proper slope. It would be wise to remove this flue and upgrade. A qualified licensed HVAC technician should be consulted to evaluate and estimate repair.



Bathroom

- 13. 2nd Floor Master Bathroom Faucets/Traps:** Delta fixtures with a metal trap- Slow draining noted-further review/repair

Interior

- 14. Entire Home General Finishes Living Space Windows:** Vinyl, Wood- Windows need trimming/adjustment in various locations. Windows have lost their seal in various locations. This has resulted in condensation developing between the panes of glass. Due to weather conditions or environmental factors, other windows that have lost their seal may exist in the home. A qualified window repair contractor should be engaged to repair all windows as required



Repair/Replace Summary (Continued)

Bedroom

- 15. Master Bedroom Windows:** Vinyl casement- A window has lost its seal. This has resulted in condensation developing between the panes of glass. Due to weather conditions or environmental factors, other windows that have lost their seal may exist in the home. A qualified window repair contractor should be engaged to repair all windows as required



Laundry Room/Area

- 16. 2nd Floor Laundry Room/Area Washer and Dryer Electrical:** 110 VAC- Dryer did not work it is a stack machine.



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Definitions

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable	Functional with no obvious defect.
Major Concern	Denotes an improvement recommendation that is uncommon for a building of this age or location and/or that needs immediate repair or replacement.
Repair/Replace	Item needs immediate repair or replacement. It is unable to perform its intended function.
Improve	Denotes a typical improvement recommendation that is common for a building this age and location that should be anticipated or budgeted for over the short term.
Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, not present, not found or disconnected at time of inspection.

General Information

HOUSE IN PERSPECTIVE Some of the systems of the home are aging and will require updating over time. As with all homes, ongoing maintenance is also required. Despite the older systems, the improvements that are recommended in this report are not considered unusual for a home of this age and location. Please remember that there is no such thing as a perfect home.

Property Information

Property Address 123 Main Street
City Happy Town **State** NY **Zip** 10000

Client Information

Client Name Jane Doe
Phone (555) 555-5555 **Fax**

Inspection Company

Inspector Name Blaise Ingrisano
Company Name A-Pro Home Inspections
Address 8 Saggese Lane
City Nesconset **State** NY **Zip** 11767
Phone 631-366-2776 **Fax**
E-Mail aprohomeinspection@gmail.com
File Number Sample Report

Conditions

Estimated Age 85 **Entrance Faces** For the purpose of this report the house faces North
Inspection Date 01/01/2015
Electric On Yes
Gas/Oil On Yes
Water On Yes



General Information (Continued)

Temperature 60 Degrees

Weather Cloudy **Soil Conditions** Damp

Space Below Grade Basement, Crawl Space

Building Type Single family **Garage** Attached

Water Source Public **How Verified** Visual Inspection

The Scope of the Inspection

Scope All components designated for inspection in the New York State Home Inspector Standards are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. The New York State Inspector Standards can be found at www.dos.state.ny.us/licensing/homeinspect/hinspect_ethics

This inspection is visual only. A representative sample of building components is viewed in areas that are accessible at the time of the inspection only. No destructive testing or dismantling of building components is performed.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

It is strongly recommended that a Homeowner's Warranty or service contract be purchased to cover the operation of Appliances, the Electrical System, the Air Conditioning System (s), Heating System(s), and the Plumbing System.

Verification of compliance with current or past Building Code and/or Zoning Regulations or requirements is outside the scope of this inspection.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the New York State Home Inspector Standards and the inspection authorization and agreement for a full explanation of the scope of the inspection.



Structure

General Comments: A licensed general contractor should be consulted to undertake the improvements recommended below.

Unable to Inspect: 70%- Finishes obstructed views of insulation, structural components, electrical, plumbing, HVAC and foundations

Improve **Foundation:** Cracks were observed in the foundation walls of the house. This implies that some structural movement of the building has occurred, as is typical of most houses. Repairs should be made as needed. Various methods of crack repair are available, including exterior caulking and sealing or if needed interior patching with an epoxy resin or hydraulic cement.

Acceptable **Beams:** Steel I-Beam

Acceptable **Columns/Piers/Posts:** Steel posts

Joists/Trusses: Wood

Acceptable **Subfloor:** Plank

Acceptable **Structure Type:** Wood frame- The floor structure has experienced some typical sagging and movement. This is usually the result of the age and framing design of the building.

Floor/Slab: Poured slab

Improve **Wood Boring Insects** Long Island is known for wood destroying insect activity. Wood destroying insects can do a substantial amount of damage to the wood structural components of a home. Several steps can be taken to reduce the risk of a wood destroying insect problem. Any form of wood/soil contact should be avoided. Controlling dampness in the soil around the perimeter of a home, including below porches and in crawl spaces, is recommended. Preventive chemical treatment, performed by a licensed pest control specialist, is also advisable.

LIMITATIONS OF STRUCTURAL / FOUNDATION COMPONENT INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. Assessing the structural integrity of a building is beyond the scope of a standard home inspection. A certified Licensed Professional Engineer (P.E.) is recommended where there are structural concerns about the building. Inspection of structural components was limited by (but not restricted to) the following conditions:

Structural components concealed behind finished surfaces could not be inspected. Only a representative sampling of visible structural components were inspected. Furniture and/or storage restricted access to some structural components.



Crawl Space

Crawl Space

Method of Inspection: From the access

Unable to Inspect: 20%- Insulation, Safety

Improve **Ventilation:** Vents into basement, Vents- Ventilation of the crawl space may be insufficient. One (1) square foot of free vent area should be provided for every five hundred (500) square feet of crawl space. Proper ventilation will help to control humidity and reduce the potential for rot. Crawl spaces can be vented to the building interior or exterior, depending on the configuration of the crawl space.

Repair/Replace **Insulation:** Fiberglass- Loose or damaged insulation in the floor above the crawl space should be improved.



Acceptable

Vapor Barrier: Cement Slab



Roof

General Comments: The design of the roofing system is such that several vulnerable areas exist. There is a higher potential for unanticipated repairs. Annual inspections and ongoing maintenance will be critical to the performance of the roofing system.

A licensed roofing contractor should be consulted to undertake the improvements recommended below.

Entire roof Roof Surface

Type: Gable

Method of Inspection: Viewed with binoculars, Viewed from Flat Roof

Repair/Replace Material: Slate, Asphalt shingle- Damaged shingles should be repaired or replaced. This can lead to interior water damage if not corrected. A qualified roofing contractor is recommended to evaluate the entire roof and estimate repairs.

Slate roofs of this type are, by their nature, high maintenance. Annual inspection and repair should be anticipated.



Improve **Flashing:** Copper- The flashing should be caulked.



Acceptable **Valleys:** Metal

Skylights: Insulated glass- The skylight flashing should be carefully monitored. Skylight flashings are extremely vulnerable to leakage.

Acceptable **Plumbing Vents:** Cast Iron



Roof (Continued)

Acceptable
Improve
Acceptable
Improve

Electrical Mast: Surface mount

Gutters: Aluminum- Normal maintenance and regular cleanings of gutters is strongly encouraged.

Downspouts: Aluminum

Leader/Extension: Aluminum- Downspout(s) that discharge onto the roof should be extended to discharge directly into the gutters below. This condition, if left unattended, can result in premature deterioration of the roofing adjacent to a downspout.



North Chimney

Repair/Replace **Chimney:** Brick- The masonry chimney is in need of re-pointing (replacing the mortar between the bricks)



Improve **Flue/Flue Cap:** Concrete- This home inspection includes a limited visual inspection of the accessible portions of the chimney. As such, it is impossible for an inspector to determine if the chimney flues are free of defects. Accordance with recommendations made by the National Fire Prevention Association (NFPA) you should have a certified chimney sweep conduct what is called a level two inspection of all chimney flues.

Acceptable **Chimney Flashing:** Copper

LIMITATIONS OF ROOFING INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. Roofing life expectancies can vary depending on several factors. Any estimates of remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc. Our evaluation of the ROOF is to determine if portions are missing and/or deteriorating and, therefore, subject to possible leaking. Portions of underlayment and decking are hidden from view and cannot be evaluated by our visual inspection; therefore, our review is not a guarantee against roof leaks or a certification. This is a "visual" inspection only. No certification, warranty, or guarantee is given as to the water tight integrity of the roof. Inspectors can not determine water integrity of roofs by a visual inspection nor can they predict future leaks. If such an inspection or certification of the roof is desired, client should contact a licensed roofer prior to closing.

The inspection of the roofing system was limited by (but not restricted to) the following conditions:

The entire underside of the roof sheathing is not inspected for evidence of leakage. Evidence of prior leakage may be disguised by interior finishes.



Attic

General Comments: Upgrading insulation levels in a home is considered an improvement rather than a necessary repair. Most homes have relatively low levels of insulation. Improving insulation levels will reduce energy costs; however, the potential benefit should be carefully weighed against the cost of improvements. Caulking and weather-stripping around doors, windows and other exterior wall openings will help to maintain weather tightness and reduce energy costs.

North Attic

Method of Inspection: Viewed From Hatch, Entered-Inaccessible Areas

Unable to Inspect: 65%- Finishes obstructed views of insulation, structural components, electrical, plumbing, HVAC components, Safety and footing, Roof line



Acceptable
Acceptable
Improve

Roof Framing: Rafter

Sheathing: Plywood

Insulation: Fiberglass- Insulation improvements may be cost effective, depending on the anticipated term of ownership. It is generally recommended that 10-12 inches of R-30 or better insulation with an air vapor barrier be installed. This should help to reduce heating costs and help keep the home cooler during warm weather

Improve
Ventilation: The level of ventilation is considered marginal. It is generally recommended that one (1) square foot of free vent area be provided for every one hundred and fifty (150) square feet of ceiling area. Proper ventilation will help to keep the house cooler during warm weather and extend the life of roofing materials. In colder climates, it will help reduce the potential for ice dams on the roof and condensation within the attic

LIMITATIONS OF INSULATION / VENTILATION INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. The inspection of insulation and ventilation was limited by (but not restricted to) the following conditions:

Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests are performed. Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection. An analysis of indoor air quality is beyond the scope of this inspection. Any estimates of insulation R-values or depths are rough average values.



Exterior

General Comments: A licensed general contractor should be consulted to undertake the improvements recommended below.

Entire home Exterior Surface

Repair/Replace **Type:** Hardie Plank, Brick veneer- The siding should be properly sealed where different materials meet. Any gaps between siding materials should be caulked and sealed.

A qualified contractor is recommended to evaluate and estimate repairs



Front of Home Exterior Surface

Repair/Replace **Type:** Brick veneer- Damaged brickwork at the front of the home under the bay window is in need of correction, evident by brick movement, cracking, water infiltration, and windows not operating. The condition that caused this damage should be remedied and bricks repaired or replaced. Any underlying damage uncovered should also be repaired or replaced. A qualified contractor is recommended to evaluate and estimate repairs



Acceptable
Acceptable
Acceptable
Acceptable

Trim Wood- Trim surfaces should be kept painted and sealed to help prevent the spread of rot.

Soffits: Wood- The soffit should be painted.

Fascia: Wood

Entry Doors: Wood



Exterior (Continued)

Repair/Replace **Steps/Stoops:** Stone- The stair treads are loose. This is a safety concern that should be addressed promptly.



Improve **Windows:** Vinyl casement, Vinyl double hung- The window and door frames require caulking. Any rotted wood uncovered should be repaired or replaced. Damaged frames should be repaired.



Acceptable **Basement Windows:** Wood frame
Acceptable **Window Wells:** Covered
Acceptable **Patio Door:** Wood
Acceptable **Exterior Electric Outlets:** 110 VAC GFCI
Acceptable **Exterior Lighting:** Surface mount
Acceptable **Electrical:** 110 VAC GFCI
Acceptable **Hose Bibs:** Rotary

LIMITATIONS OF EXTERIOR INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. The inspection of the exterior was limited by (but not restricted to) the following conditions:

A representative sample of exterior components was inspected. The inspection does not include an assessment of geological conditions and/or site stability. Landscape components restricted a view of some exterior areas of the house. Storage in the garage restricted the inspection.

Lots and Grounds

Acceptable **Driveway:** Asphalt

Repair/Replace **Walks:** Stone- The walkway has settled and/or cracked. Persisting movement may result in the need for resurfacing. The walkway presents a trip hazard. This condition should be altered for improved safety.



Lots and Grounds (Continued)

Walks: (continued)



Acceptable
Acceptable
Improve

Porch: Stone

Patio/Deck Door: Wood

Patio: Brick- The patio should be caulked and sealed adjacent to the foundation.



Improve **Grading:** Flat- The grading should be improved to promote the flow of storm water away from the house. This can usually be accomplished by the addition and/or removal of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. Ideally, at least six (6) inches of clearance should be maintained between soil level and the top of the foundation.

Improve **Vegetation:** Plantings, Shrubs- There is less than a 6" inch gap between the siding and the soil. This should be monitored. It is possible for vegetation to grow up in between the siding and the interior walls. Vegetation growing on or within 6 inches of exterior walls in various locations should be kept trimmed away from siding, window trims, and the eaves.

Swimming Pool

Outbuilding

LIMITATIONS OF EXTERIOR INSPECTION: A representative sample of exterior components was inspected. The inspection does not include an assessment of geological conditions and/or site stability. Landscape components restricted a view of some exterior areas of the house.

Garage/Carport

Attached Garage

Type of Structure: Attached **Car Spaces:** 1

Acceptable **Garage Doors:** Insulated aluminum

Acceptable **Door Operation:** Mechanized

Acceptable **Door Opener:** Access Master

Improve **Service Doors:** Wood- The door between the garage and the interior of the house should be rated to resist fire, weather-stripped and fitted with an automatic closer. This will reduce the potential of toxic automobile gases entering the house, or as per local codes.



Garage/Carport (Continued)

Acceptable
Improve

Electrical: 110 VAC GFCI
Walls: Minor cracks were noted.



Acceptable
Improve
Acceptable
Improve
Improve
Improve
Improve
Acceptable

Floor/Foundation: Poured concrete
Exterior Surface: Hardie Board- Any gaps between siding materials should be caulked and sealed
Windows: Vinyl casement
Roof: Slate- Loose,damaged or missing slates shingles should be repaired or replaced.
Gutters: Aluminum- Normal maintenance and regular cleanings of gutters is strongly encouraged.
Downspouts: Aluminum- The downspout(s) should discharge water at least five (5) feet from the house. Storm water should be encouraged to flow away from the building at the point of discharge.
Leader/Extensions: Aluminum
Hose Bibs: Rotary

LIMITATIONS OF EXTERIOR INSPECTION: Storage in the garage restricted the inspection.



Electrical

General Comments: A licensed electrician should be consulted to undertake the improvements recommended below.

Service Size Amps: 200 **Volts:** 110-240 VAC

Acceptable **Service:** Copper

Acceptable **Ground/Bond:** Plumbing ground

Basement Electric Panel

Improve **Main Panel** 200 Amps- The main distribution panel is crowded with wiring. A larger panel, or an auxiliary panel, would be desirable.



Acceptable **Main Breaker Size:** 200 Amps

Acceptable **Conductor Type:** Romex, BX

Acceptable **Breakers:** Copper

Discretionary Improvements: During the course of any renovating, it is recommended that older wiring be replaced.

LIMITATIONS OF ELECTRICAL SYSTEM INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. The inspection does not include low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers or smoke detectors. The inspection of the electrical system was limited by (but not restricted to) the following conditions:

Electrical components concealed behind finished surfaces could not be inspected. Only a representative sampling of outlets and light fixtures were tested. Furniture and/or storage restricted access to some electrical components.



Heating System

General Comments: It would be wise to consider a homeowner's warranty to protect the buyers from unexpected breakdown and failure.

A licensed heating and cooling (HVAC) technician should be consulted to undertake the improvements recommended below.

Heating System

Manufacturer: Goodman

Type: Forced air

Approx. Age: 12 Years

Fuel Type: Natural gas

Repair/Replace **Heating System Operation:** The furnace requires typical servicing by a qualified HVAC technician. to clean, service, and check the heat exchanger.

A contact switch should be installed in the lower fan compartment. This will switch will not allow the furnace to operate without the lower cover on. This will help keep the system clean and from overheating the heat exchanger.



Acceptable
Acceptable
Improve

Distribution: Forced Air

Flue Pipe: PVC

Exposed Ductwork: Metal- The ductwork utilized by the cooling system is older and not ideally suited to air conditioning. This is very typical of older homes. The performance of the system should be monitored.

Repair/Replace **Buried Oil Tank** It is suspected that an underground oil storage tank exists on the property. According to the Environmental Protection Agency (E.P.A.), this situation may or may not represent an environmental risk depending on factors such as tank age, condition and maintenance, none of which A-Pro is authorized to investigate or report upon. . In some cases, based on these factors, removal of underground oil tanks and surrounding soil may be necessary. Other possible alternatives, subject to state and federal guidelines, may include having the tanks filled with sand and/or foam. Oil tank repair/removal costs vary depending on the extent of work required. It is recommended that the home owner be asked if one did exist, and if so was it properly abandoned with a certificate of abandonment. If not properly abandoned a specialist should be consulted.

LIMITATIONS OF HEATING SYSTEM INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection. The inspection was limited by (but not restricted to) the following conditions:

The adequacy of heat distribution is difficult to determine during a one-time visit to a home.



Air Conditioning

General Comments: It would be wise to consider a homeowner's warranty to protect the buyers from unexpected breakdown and failure.

A licensed cooling (HVAC) technician should be consulted to undertake the improvements recommended below.

AC System

Manufacturer: Trane



Approx. Age: 21 Years Old

Fuel Type: Electric **Temperature Differential:**

Repair/Replace Heat Pump: Appears serviceable- At the time of inspection the emergency electric heat did not respond to testing. A qualified and licensed air conditioning contractor is recommended to evaluate and estimate repairs.

As is not uncommon for homes of this age and location, the air conditioning system is relatively old. It will require a higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible. If the compressor fails, or if breakdowns become chronic, replacing the entire system may be more cost-effective than continuing to undertake repairs. Service recommended.

- Acceptable **Exterior Unit:** Pad mounted
- Acceptable **Electrical Disconnect:** Disconnect
- Acceptable **Refrigerant Lines:** Serviceable condition
- Acceptable **Condensate Removal:** Pump,

AC System

Manufacturer: Goodman

Approx. Age: 10 years

Fuel Type: Electric **Temperature Differential:**

- Improve **A/C System Operation:** Appears serviceable- Service recommended.
- Acceptable **Exterior Unit:** Pad mounted
- Acceptable **Electrical Disconnect:** Disconnect
- Improve **Refrigerant Lines:** Serviceable condition- Damaged insulation on refrigerant lines should be repaired.
- Acceptable **Condensate Removal:** Pump
- Improve **Exposed Ductwork:** Metal, Insulated flex- Duct cleaning is recommended. Loose fitting joints and/or openings in the ductwork should be improved. A qualified contractor is recommended to evaluate and estimate repairs.

The air filter is dirty. It would be wise to change the filter every thirty days when in use.

LIMITATIONS OF COOLING SYSTEM INSPECTION: As prescribed in the inspection authorization and



Air Conditioning (Continued)

LIMITATIONS OF COOLING SYSTEM INSPECTION: (continued)

agreement, this is a visual inspection only. Air conditioning and heat pump systems, like most mechanical components, can fail at any time. The inspection of the cooling system was limited by (but not restricted to) the following conditions:

Window mounted air conditioning units are not inspected. The adequacy of distribution of cool air within the home is difficult to determine during a one-time inspection.



Plumbing

General Comments: A licensed plumbing contractor should be consulted to undertake the improvements recommended below.

Acceptable **Service Line:** Copper

Repair/Replace **Main Water Shutoff:** Basement- Water dripping was noted at the main water valve. This condition should be corrected by a licensed plumber.

Improve **Water Lines:** Copper- For the most part, the supply piping is older. It may be prone to unexpected problems. Improvement is recommended on an as needed basis.

Improve **Drain Pipes:** Cast iron, Copper, PVC- For the most part, the waste piping is older. It may be prone to unexpected problems. Improvement is recommended on an as needed basis.

Acceptable **Service Caps:** Not visible

Acceptable **Gas Meter:** Basement

Acceptable **Main Gas Valve:** Located at gas meter

Acceptable **Gas Service Lines:** Black Pipe, Galvanized

Water Heater

Manufacturer: A.O. Smith

Type: Natural gas **Capacity:** 75 Gal.

Approx. Age: 6 Years

Improve **Water Heater Operation:** Adequate- Typical service recommended by a licensed plumber.

Repair/Replace **Flue Pipe:** Metal. Cast- The flue servicing the water tank is older and may contain asbestos. In addition it does not appear to have a proper slope. It would be wise to remove this flue and upgrade. A qualified licensed HVAC technician should be consulted to evaluate and estimate repair.



Acceptable **TPRV and Drain Tube:** Copper

Discretionary Improvements: During the process of plumbing fixture renovation, it would be wise to replace older piping that is exposed.

LIMITATIONS OF PLUMBING SYSTEM INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. The inspection of the plumbing system was limited by (but not restricted to) the following conditions:

Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, and beneath the yard were not inspected. Water quality is not tested. The effect of lead content in solder and or supply lines is beyond the scope of the inspection. An inspection of the sewage system is outside the scope of this inspection.



Bathroom

2nd Floor Main Bathroom

Acceptable **Shower/Surround:** Tile pan and tile walls
Acceptable **Toilets:** American Standard
Acceptable **Sink/Basin:** Molded single bowl
Acceptable **Faucets/Traps:**
Acceptable **Electrical:** 110 VAC GFCI
Improve **Ventilation:** Electric ventilation fan- The bathroom exhaust fan that is over the shower area should be on a GFCI.
Acceptable **HVAC Source:** Forced air
Acceptable **Counter/Cabinet:** Corian

2nd Floor Master Bathroom

Acceptable **Shower/Surround:** Tile pan and tile walls
Acceptable **Toilets:** American Standard
Acceptable **Sink/Basin:** Molded single bowl
Repair/Replace **Faucets/Traps:** Delta fixtures with a metal trap- Slow draining noted-further review/repair
Acceptable **Electrical:** 110 VAC GFCI
Acceptable **Ventilation:** Electric ventilation fan
Acceptable **HVAC Source:** Forced air
Acceptable **Counter/Cabinet:** Only If Needed, Composite and wood

2nd floor middle Bathroom

Acceptable **Tub/Surround:** Porcelain tub and ceramic tile surround
Acceptable **Toilets:** American Standard
Improve **Sink/Basin:** Pedestal- The sink drain stopper is inoperative
Acceptable **Faucets/Traps:** Delta fixtures with a metal trap
Acceptable **Electrical:** 110 VAC GFCI
Improve **Ventilation:** Electric ventilation fan- The exhaust fan over the shower should be on a GFCI.
Acceptable **HVAC Source:** Forced air

1st floor 1/2 bath Bathroom

Acceptable **Toilets:** American Standard
Acceptable **Faucets/Traps:** Delta fixtures with a metal trap
Acceptable **Electrical:** 110 VAC GFCI
Acceptable **Ventilation:** Electric ventilation fan
HVAC Source: Forced air



Interior

INTERIOR COMMENTS: On the whole, the interior finishes of the home are considered to be in average condition. Typical flaws were observed in some areas.

Entire Home General Finishes Living Space

- Improve **Walls:** Drywall- Evidence of patching was detected, Typical drywall flaws were observed various locations, Minor cracks were noted in various locations
- Improve **Ceiling:** Drywall- Evidence of patching was detected, Typical drywall flaws were observed various locations, Minor cracks were noted in various locations
- Improve **Floor:** Hardwood, Carpet, Tile- Floor slopes are apparent in various locations
- Repair/Replace **Windows:** Vinyl, Wood- Windows need trimming/adjustment in various locations. Windows have lost their seal in various locations. This has resulted in condensation developing between the panes of glass. Due to weather conditions or environmental factors, other windows that have lost their seal may exist in the home. A qualified window repair contractor should be engaged to repair all windows as required
- Improve **Doors:** Hollow wood- Doors need trimming/adjustment in various locations
- Acceptable **Stairs/Handrails:**
- Acceptable **Electrical:**
- Improve **Smoke Detector:** The installation of smoke/Carbon Monoxide detectors inside all sleeping areas, the garage and on every floor of the home that are linked together is recommended.

Discretionary Improvements: The installation of smoke/Carbon Monoxide detectors inside all sleeping areas, the garage and on every floor of the home that are linked together is recommended. It may be desirable to install new exterior lock sets upon taking possession of the home

LIMITATIONS OF INTERIOR INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. Assessing the quality and condition of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments will be general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removal of existing wall hangings and furniture. The inspection of the interior was limited by (but not restricted to) the following conditions:

This inspection does not cover any damage concealed by carpeting, rugs or furniture
Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior. Potentially hazardous substances (such as asbestos, lead paint, mold, etc.) cannot be positively identified without a detailed inspection for these types of substances and a laboratory analysis. This is beyond the scope of a home inspection. The adequacy of the fireplace draw cannot be determined during a visual inspection.

Fireplace/Wood Stove

Basement Fireplace

Type: Wood burning



Fireplace/Wood Stove (Continued)

Improve

Fireplace Construction: Stone- All the fireplaces and chimneys should have a level two inspections and cleaned prior to operation. A qualified contractor is recommended to evaluate and estimate repairs



Acceptable

Damper: Metal

Acceptable

Hearth: Flush mounted

Family Room Fireplace

Fireplace Construction: Stone



Type: Wood burning

Acceptable

Damper: Metal

Living Room Fireplace

Acceptable

Fireplace Construction: Stone



Type: Wood burning

Acceptable

Damper: Metal

Acceptable

Hearth: Flush mounted



Bedroom

Master Bedroom

Repair/Replace **Windows:** Vinyl casement- A window has lost its seal. This has resulted in condensation developing between the panes of glass. Due to weather conditions or environmental factors, other windows that have lost their seal may exist in the home. A qualified window repair contractor should be engaged to repair all windows as required



Back Bedroom Bedroom

Improve **Electrical:** 3-Prong- An outlet is loose. It should be improved . Missing cover plate.





Kitchen

General Comments: It would be wise to consider a homeowner's warranty to protect the buyers from unexpected breakdown and failure.

A qualified technician should be consulted to undertake the improvements recommended below.

All appliances should be operated at the final walk through, to insure they are working properly upon ownership.

1st Floor Kitchen

Acceptable	Cooking Appliances: Gas cook top
Acceptable	Wall Oven General Electric
Acceptable	Ventilator: Exhaust fan with microwave
Acceptable	Dishwasher: Whirlpool
Acceptable	Refrigerator: Whirlpool
Acceptable	Microwave: General Electric
Acceptable	Sink: Stainless Steel
Acceptable	Electrical: 110 VAC GFCI
Acceptable	HVAC Source: Forced air



Laundry Room/Area

General Comments: It would be wise to consider a homeowner's warranty to protect the buyers from unexpected breakdown and failure.

A qualified technician should be consulted to undertake the improvements recommended below.

All appliances should be operated at the final walk through, to insure they are working properly upon ownership.

Basement Laundry Room/Area

Acceptable

Washing Machine: General Electric

Acceptable

Washer Drain: Drains to laundry tub

Acceptable

Dryer: Maytag

Improve

Dryer Vent: Metal flex, Rigid metal- The routing of the dryer vent is less than desirable.

The dryer vent should be made of semi rigid or rigid metal and cleaned prior to use. A partially or fully clogged vent represents a possible fire hazard.



Acceptable

Dryer Gas Line: Insulflex

Improve

Electrical: 3-Prong- The installation of a ground fault circuit interrupter (GFCI) is recommended. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.



Acceptable

Laundry Tub: Concrete

Acceptable

Laundry Tub Drain: Galvanized

Acceptable

Floor: Poured

Improve

Floor Drain: Surface drain- Blocked by debris



2nd Floor Laundry Room/Area

Repair/Replace

Washer and Dryer Electrical: 110 VAC- Dryer did not work it is a stack machine.

Improve

Dryer Vent: The dryer vent may be partially or fully clogged. If it is clogged this represents a possible fire hazard. It is recommended that the dryer vent be evaluated yearly to make sure that it is free from any lint or debris.

LIMITATIONS OF APPLIANCES INSPECTION: As prescribed in the inspection authorization and agreement, this is a visual inspection only. Appliances are tested by turning them on for a short period of time only. It is strongly



Laundry Room/Area (Continued)

LIMITATIONS OF APPLIANCES INSPECTION: (continued)

recommended that a Homeowner's Warranty or service contract be purchased to cover the operation of appliances. It is further recommended that appliances be tested during any scheduled pre-closing walk through. Like any mechanical device, appliances can malfunction at any time (including the day after taking possession of the house). The inspection of the appliances was limited by (but not restricted to) the following conditions:

The effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection, Thermostats, timers and other specialized features and controls are not tested



Basement

Basement

Unable to Inspect: 30%- Basement finishes obstructed views of insulation, structural components, electrical, plumbing, HVAC and foundations, Insulation, Storage boxes

Improve **Basement Leakage:** The basement shows evidence of moisture penetration. It should be understood that it is impossible to predict the severity or frequency of moisture penetration on a one time visit to a home. Virtually all basements exhibit signs of moisture penetration and virtually all basements will indeed leak at some point in time. The visible evidence is considered average for a home of this age, construction and location. Further monitoring of the foundations will be required to determine what improvements, if any, will be required. Basement leakage rarely affects the structural integrity of a home.

The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundations. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation, or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation, are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information. In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be considered a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced.



Conclusion

Conclusion All homes experience an adjustment process, particularly when they are young. Some shrinkage, settlement and compression of buildings are a few of the activities that are expected and, in most cases, are considered normal. It is common to have some thin ceiling/wall intersections and other minor symptoms of settling and shrinkage. This type of activity is more prevalent in the first several years of the life of the home. We cannot predict the future of a homes adjustment process and whether it will be normal or more serious activity.

In conclusion, it should be noted that no house is perfect, not even a brand new house. The objective of this report is to inform the purchaser of the current condition of the property and to make sure there are no major problems with the home. The report should not be used as a check list in order to re-negotiate with the seller to make the home a "perfect house" or upgrade certain portions of the home to absolutely ideal conditions.

It should be kept in mind that a purchaser normally purchases a property because the property has many positive attributes such as style, price, location, age or character. Normally, we find that there may be some minor imperfections or maintenance needs, but they should not overshadow all of the good and positive reasons that lead someone to purchase the property. Many of our recommendations and suggestions are "minor maintenance related items" and can be done at anytime, at a nominal, reasonable cost.

We advise client to consult with only licensed, professional, and qualified contractors (in their respective field) for further review, options and estimates on all repairs, upgrades and replacements, as needed, where noted throughout this report.

AS INDICATED IN OUR INSPECTION AGREEMENT AND COVER LETTER, LIMITATIONS EXIST WITH THIS INSPECTION. UNFAMILIARITY WITH THE PROPERTY WILL ALWAYS IMPACT DISCLOSURE. WE SUGGEST YOU OBTAIN WRITTEN DISCLOSURE FROM THE SELLER REGARDING ANY CONDITIONS THAT MAY NOT BE APPARENT, AND ONLY PREVIOUS KNOWLEDGE COULD DISCLOSE.



Maintenance Advice

Maintenance MAINTENANCE ADVICE UPON TAKING OWNERSHIP

After taking possession of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements:

"Change the locks on all exterior entrances, for improved security.

"Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Consideration could also be given to a security system.

"Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas.

Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.

"Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of fire.

"Examine driveways and walkways for trip hazards. Undertake repairs where necessary.

"Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.

"Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.

"Review your home inspection report for any items that require immediate improvement or further investigation.

Address these areas as required.

"Install rain caps and vermin screens on all chimney flues, as necessary.

"Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attended the home inspection, these items would have been pointed out to you.

REGULAR MAINTENANCE

EVERY MONTH

"Check that fire extinguisher(s) are fully charged. Re-charge if necessary.

"Examine heating/cooling air filters and replace or clean as necessary.

"Inspect and clean humidifiers and electronic air cleaners.

"If the house has hot water heating, bleed radiator valves.

"Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.

"Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.

"Repair or replace leaking faucets or showerheads.

"Secure loose toilets, or repair flush mechanisms that become troublesome.

SPRING AND FALL

"Examine the roof for evidence of damage to roof coverings, flashings and chimneys.

"Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.

"Trim back tree branches and shrubs to ensure that they are not in contact with the house.

"Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.

"Survey the basement and/or crawl space walls for evidence of moisture seepage.

"Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.

"Ensure that the grade of the land around the house encourages water to flow away from the foundation.

"Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.

"Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood window frames. Paint and repair windowsills and frames as necessary.

"Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.



Maintenance Advice (Continued)

"Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.

"Test the Temperature and Pressure Relief (TPR) Valve on water heaters.

"Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.

"Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.

"Replace or clean exhaust hood filters.

"Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

ANNUALLY

"Replace smoke detector batteries.

"Have the heating, cooling and water heater systems cleaned and serviced.

"Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.

"Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.

"If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).

"If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventative treatments may be recommended in some cases.

PREVENTION IS THE BEST APPROACH

Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes.

Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home.

Enjoy your home!